

456 High Street

23/00625/FUL

Full planning application for the redevelopment of the site to provide a residential development of 18no. apartments (12no. one bed and 6no. two bed) contained within two blocks, following demolition of an existing commercial building

Recommendation: Permit subject to a Unilateral Undertaking and conditions

Site location



Google satellite image



Google 3D image



The site

The site



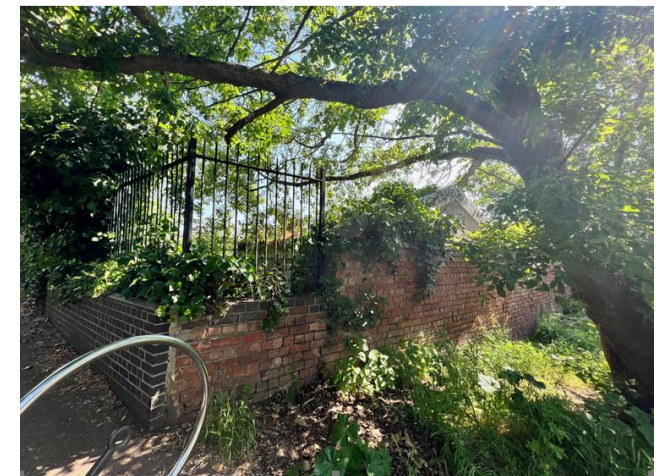
Views from High Street



View from apartment in Honeybourne Gate



View from apartment in Honeybourne Gate



View from Winston Churchill Gardens

Site context



442 – 452 High Street (to southeast)



Honeybourne Gate (viewed from entrance to Winston Churchill Gardens)



View looking north along Honeybourne Line



View looking northwest along High Street

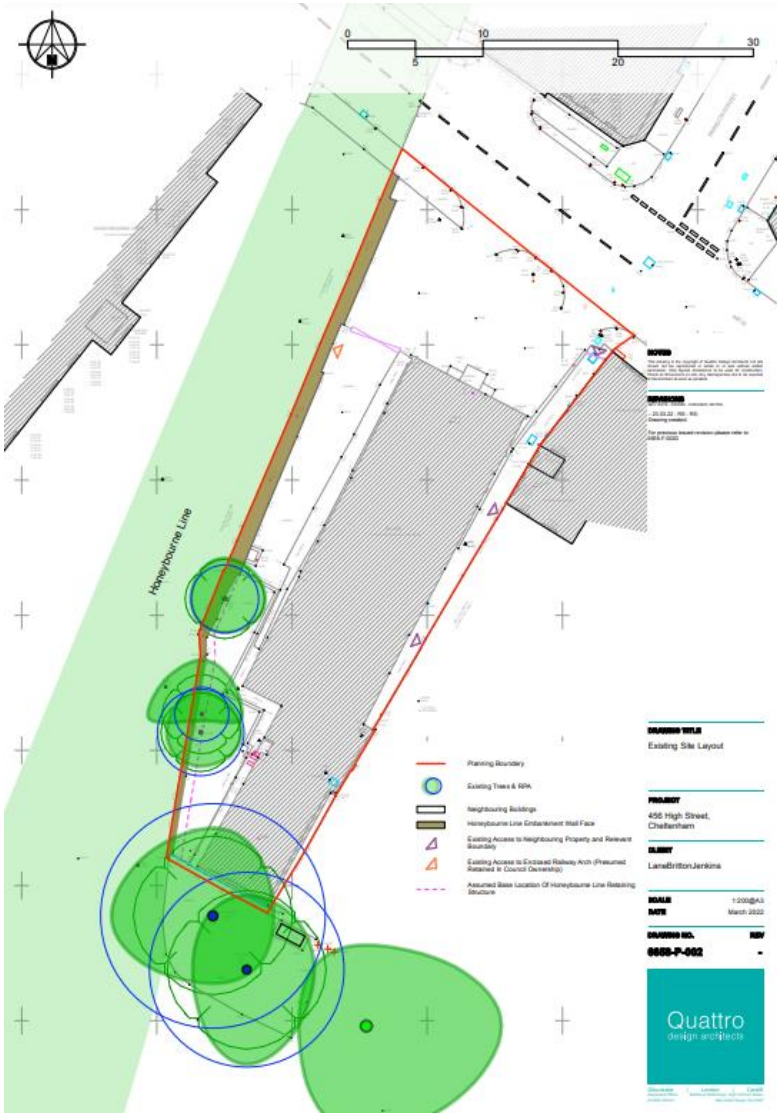


453 High Street (opposite the site)

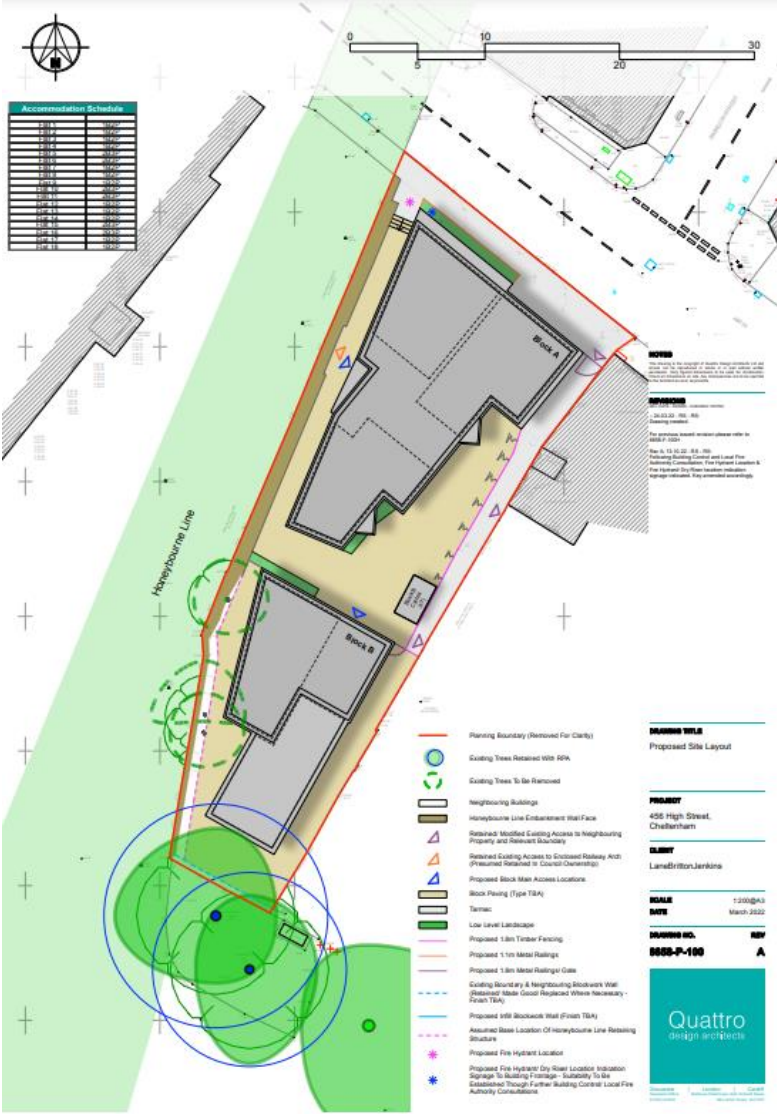


449 - 451 High Street (diagonally opposite the site to northeast)

Existing and proposed site layout

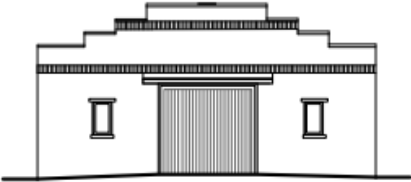


Existing

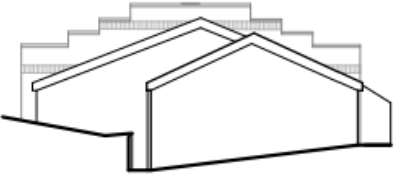


Proposed

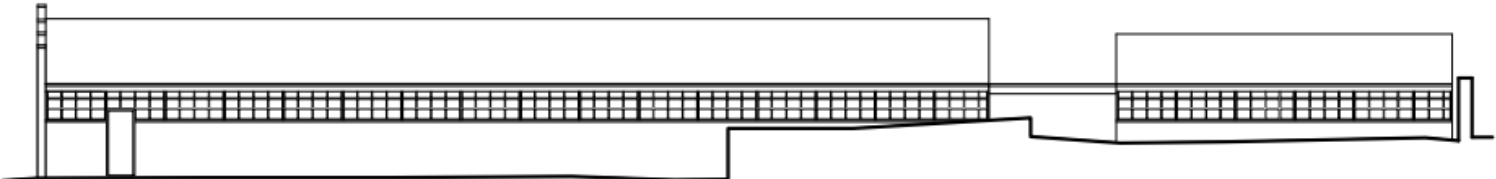
Existing building elevations



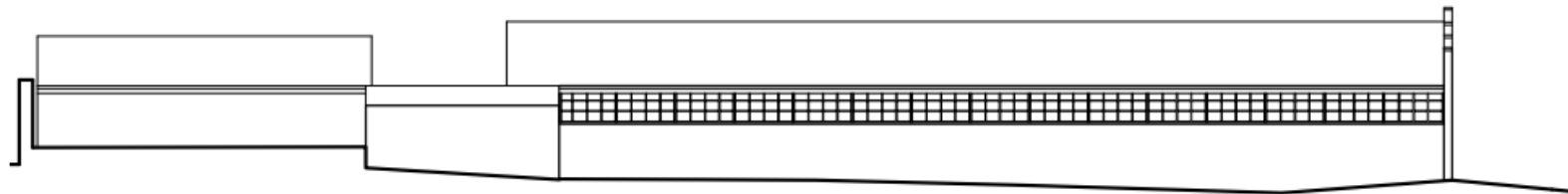
North-West



South-West

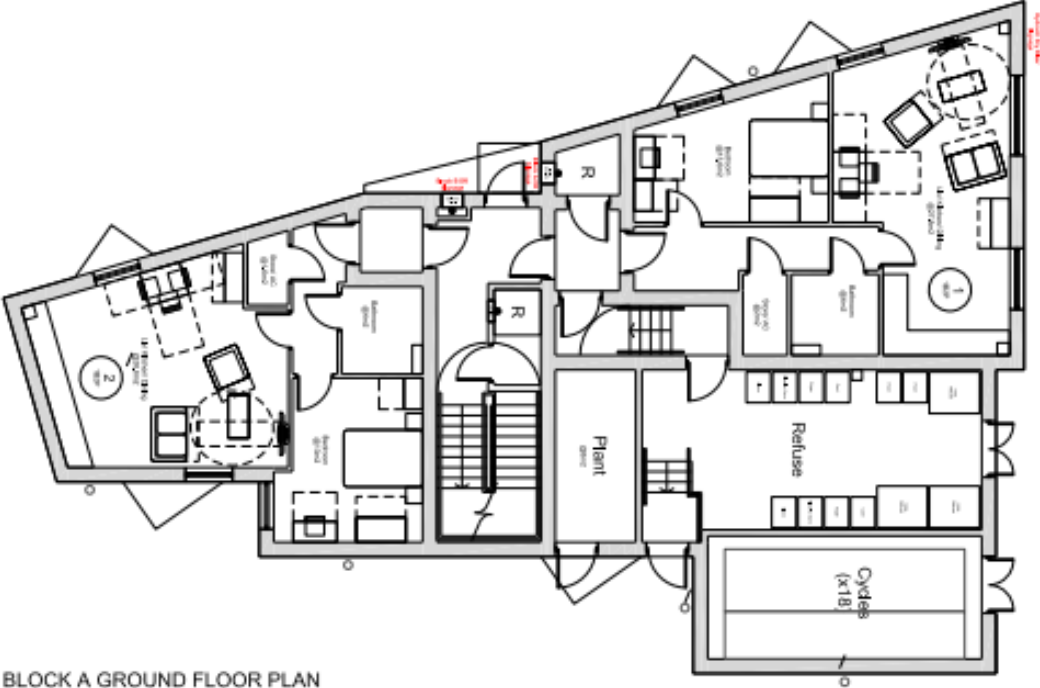


South-East

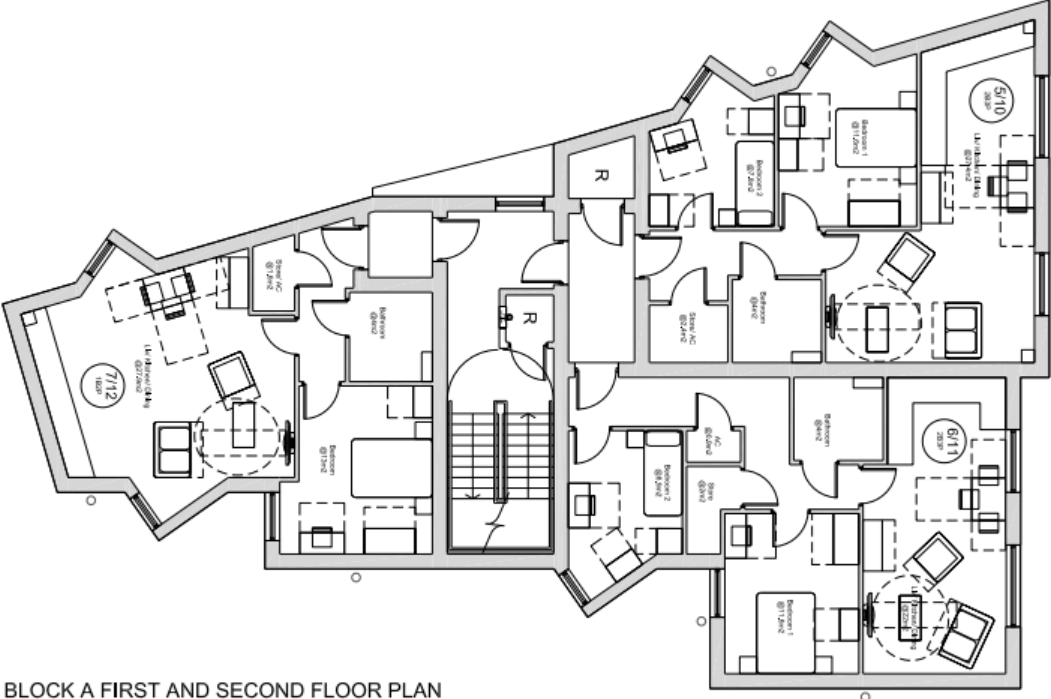


North-East

Block A – Proposed ground, first and second floor plans

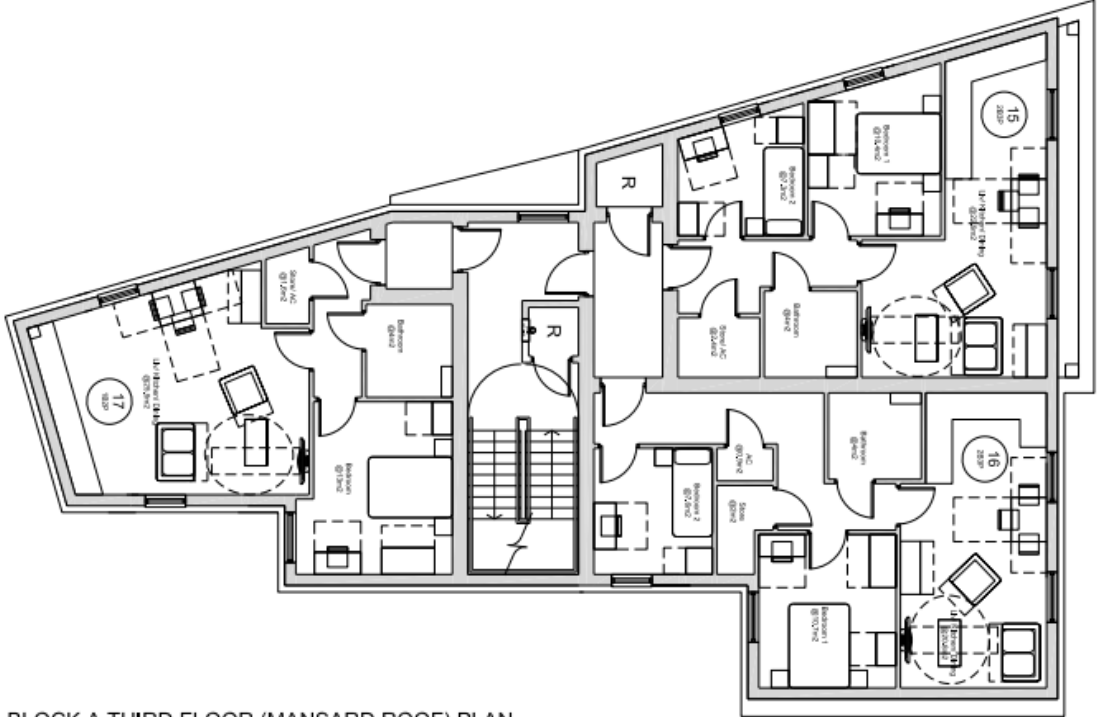


BLOCK A GROUND FLOOR PLAN



BLOCK A FIRST AND SECOND FLOOR PLAN

Block A – Proposed third floor plan



BLOCK A THIRD FLOOR (MANSARD ROOF) PLAN

Block A – Proposed elevations



Block A North East Elevation



Block A South East Elevation

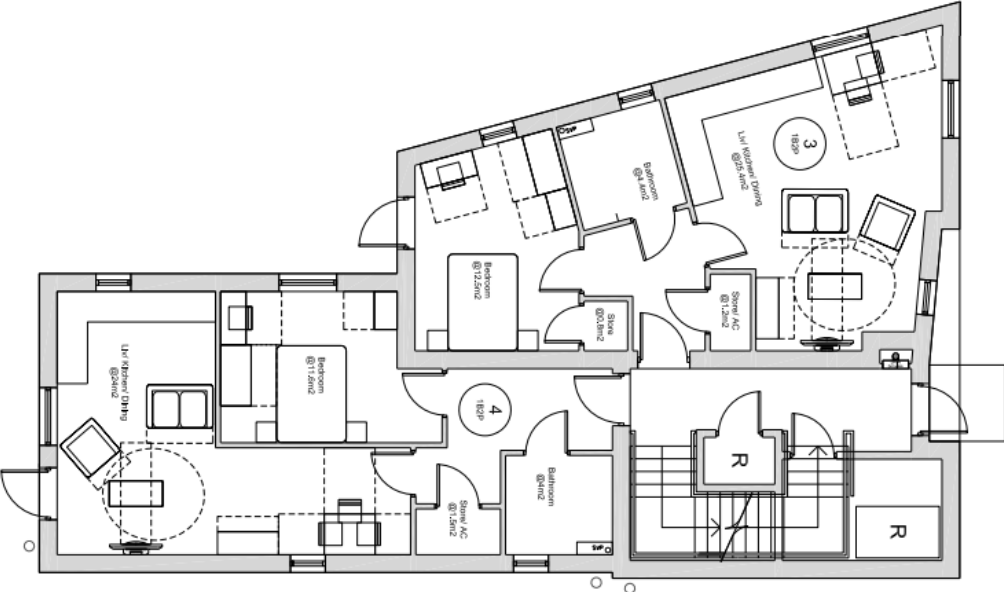


Block A South West Elevation

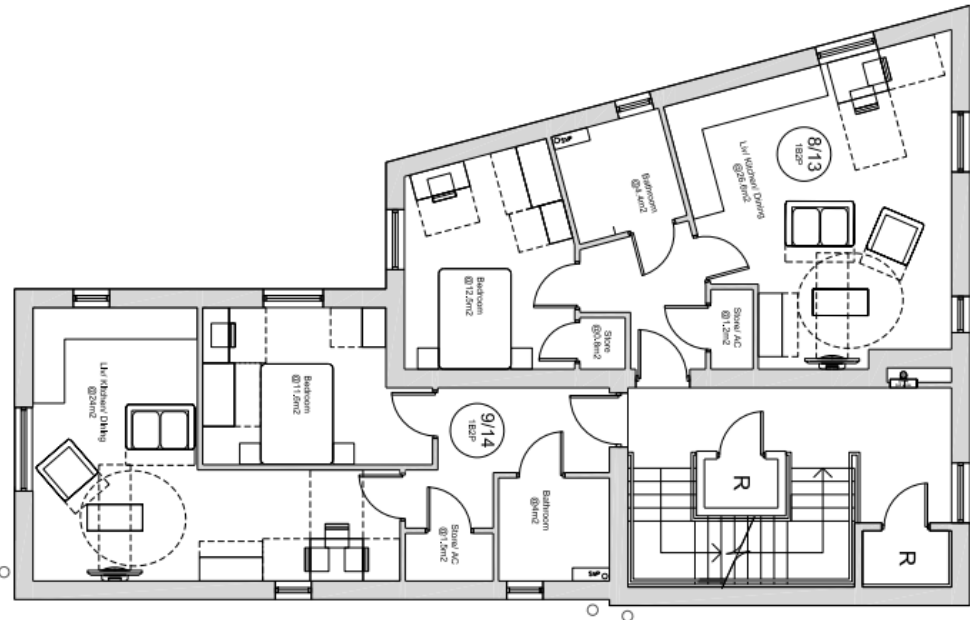


Block A North West Elevation

Block B – Proposed ground, first and second floor plans

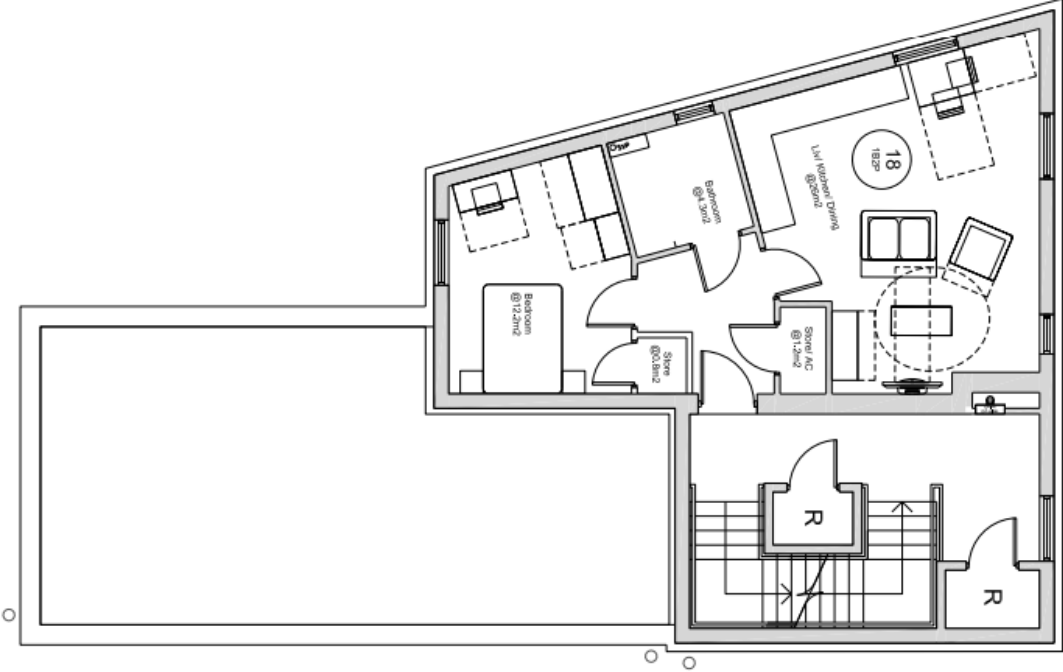


BLOCK B GROUND FLOOR PLAN



BLOCK B FIRST AND SECOND FLOOR PLAN

Block B – Proposed third floor plan

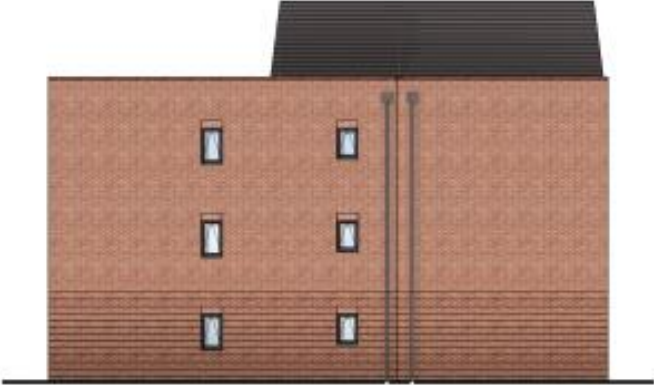


BLOCK B THIRD FLOOR (ROOF) PLAN

Block B – Proposed elevations



Block B North East Elevation



Block B South East Elevation



Block B South West Elevation



Block B North West Elevation

Existing and proposed street scene and sectional elevations

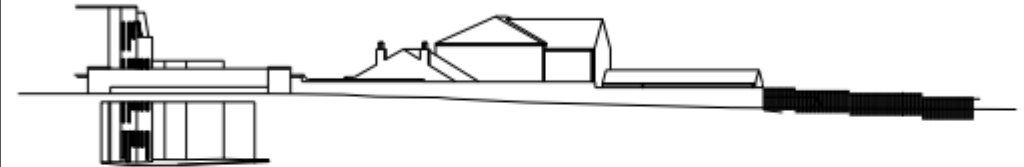


Existing Sectional Street Elevation A-A

High Street



Proposed Sectional Street Elevation A-A



Existing Sectional Street Elevation B-B

Honeybourne Line



Proposed Sectional Street Elevation B-B



Comparative elevations

As originally proposed



As revised



Key planning matters

- Principle of re-development
- Design and layout
- Impact on the historic environment
- Climate change
- Parking and highway safety
- Affordable housing
- Neighbouring amenity
- Recreational impacts on Cotswold Beechwoods SAC

Suggested conditions include (but are not limited to):

- Time limit – 3 years
- Approved plans
- Contaminated land
- Construction management
- Site waste management
- Renewable or low carbon energy
- Drainage
- External facing and/or roofing materials
- Sample panel of brickwork
- Design details
- Landscaping
- Cycle storage
- Refuse and recycling
- Ecological enhancements

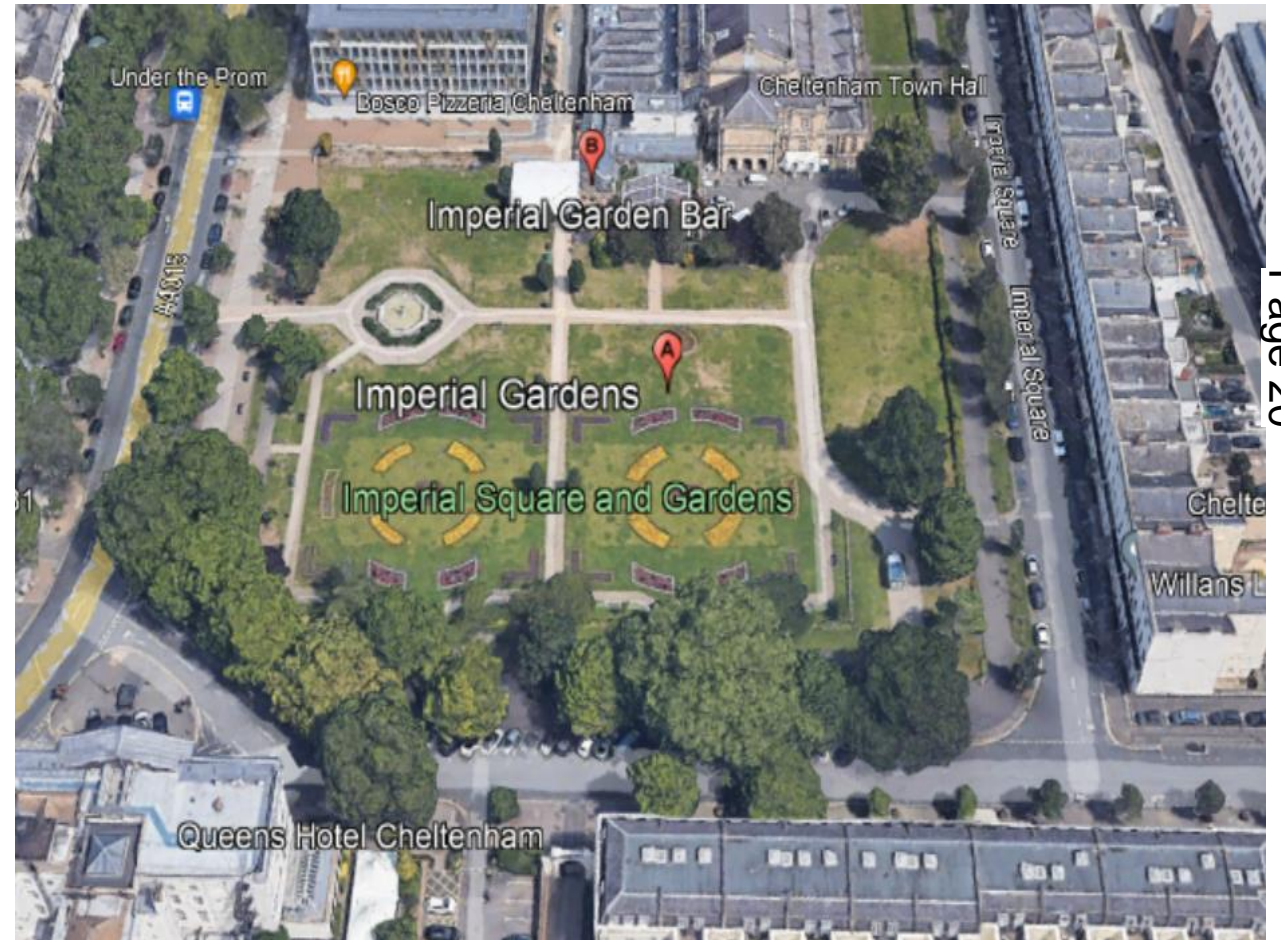
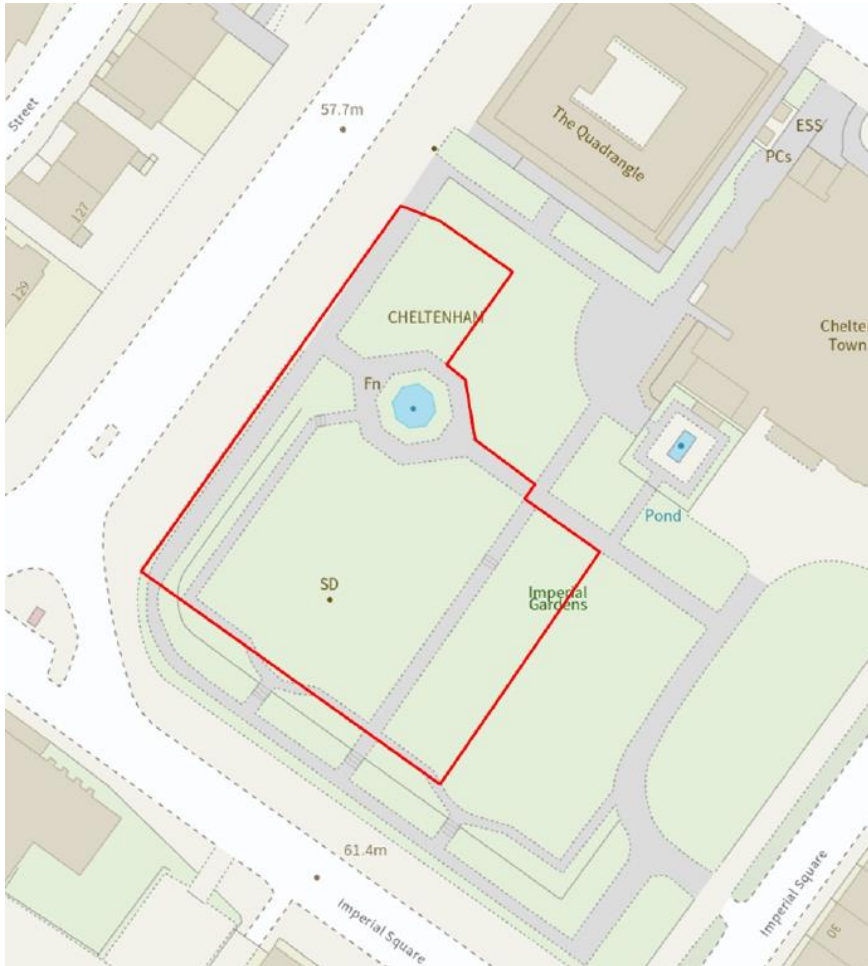
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24/00605/CONDIT-Imperial Garden Promenade

Variation of condition 5. (generators) of granted permission 22/01200/FUL. To enable the use of a generator, running exclusively on certified sustainably sourced HVO, in 2024-25, as part of a hybrid power set-up alongside the existing electrical infrastructure and a high-capacity mobile battery unit.

The application is before the Planning Committee because the Council is the applicant and own Imperial Gardens.

Site Location



Ice rink in 2021



Approved zoned layout plan



Key Planning Matters

- Sustainable development
- Neighbouring amenity

Recommendation and conditions

Recommendation - Permit

Conditions

24/00407/CONDIT

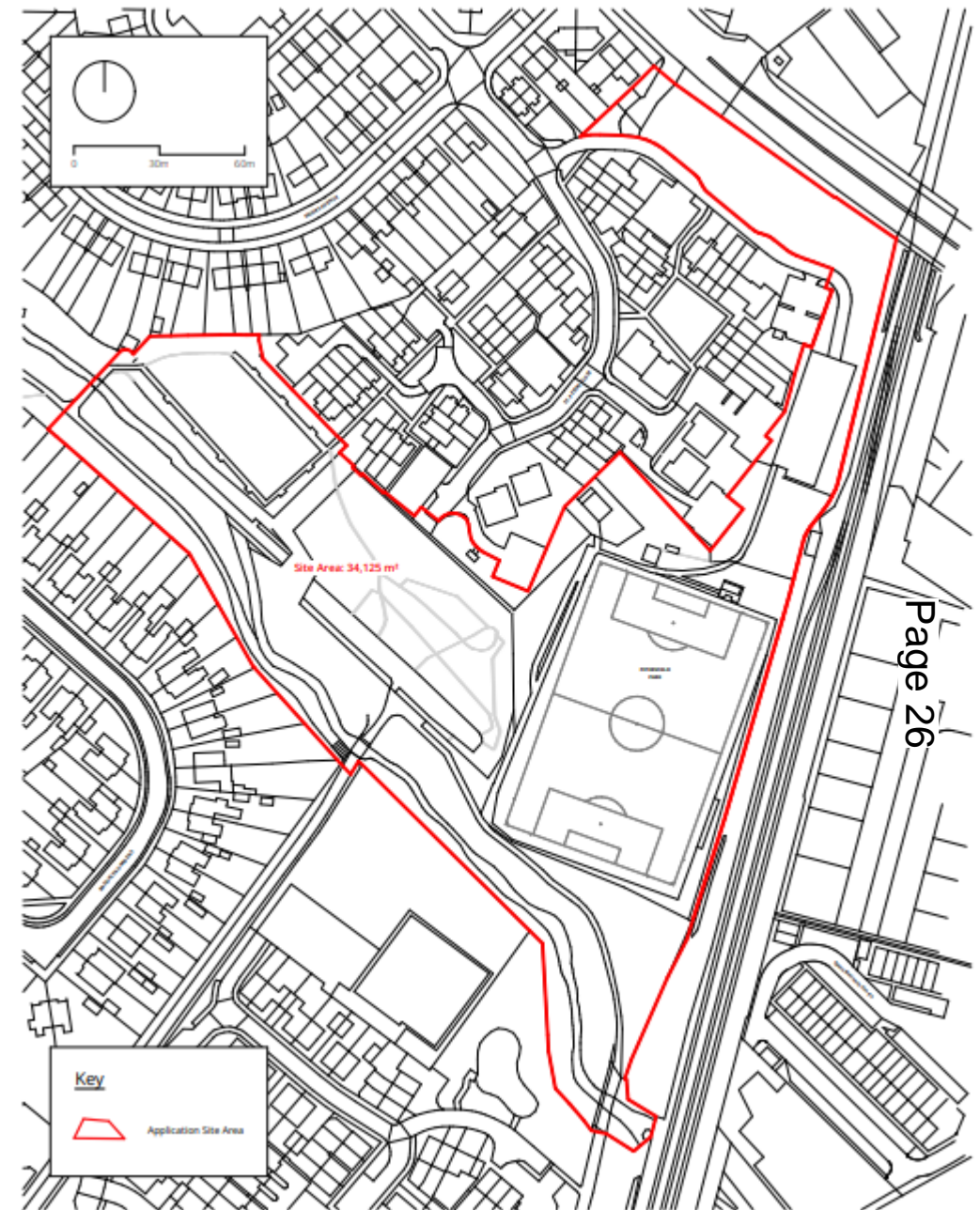
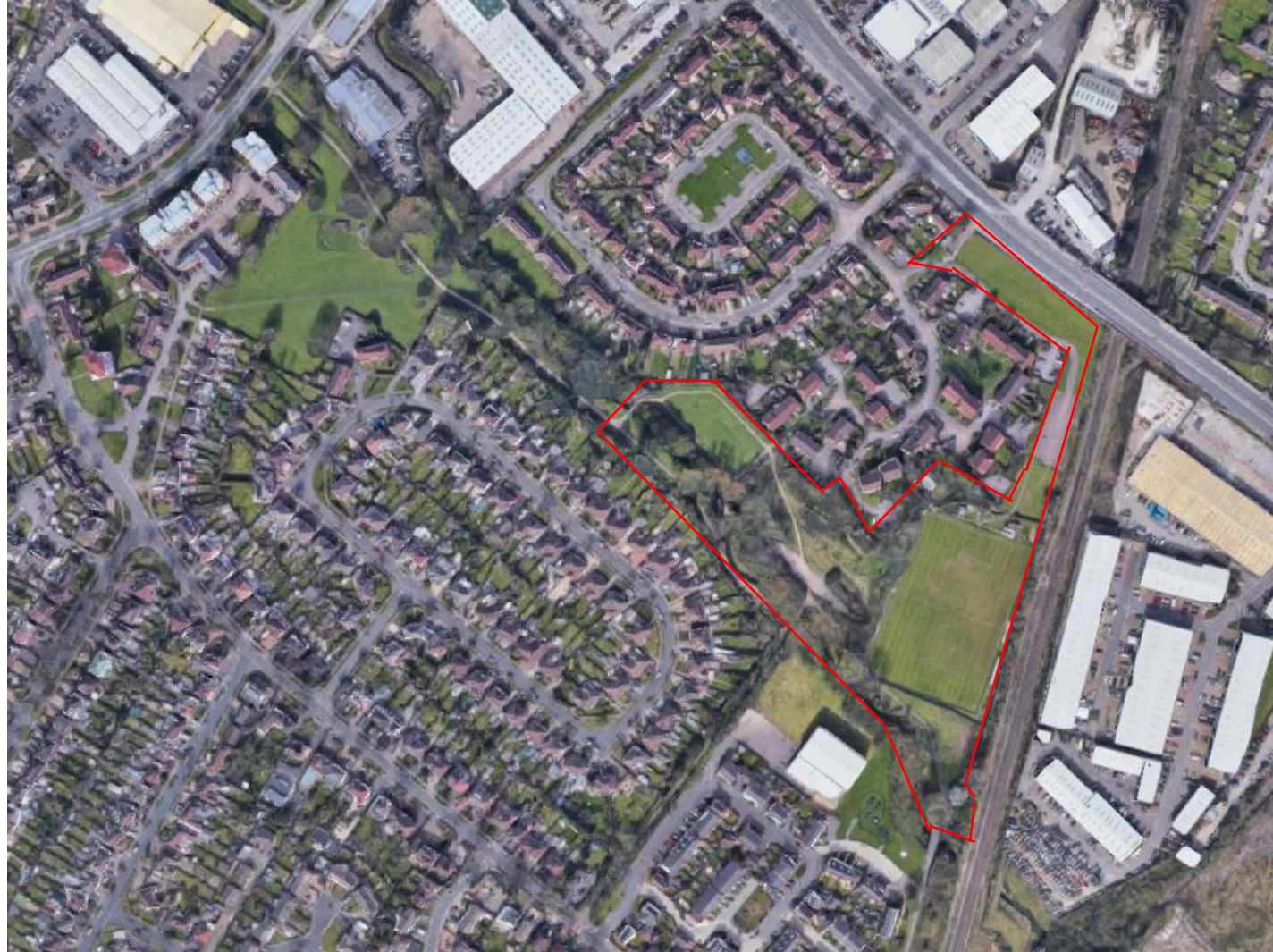
St Peters Playing Field, St Peters Close

Variation of condition 2 (approved drawings) to make alterations to the design of the Community Sports Hub Building; and removal of condition 3 (material samples), condition 4 (green roof details), condition 5 (construction management plan) and condition 6 (SuDS) of planning permission ref. 22/01743/FUL

The application is at planning committee as the applicant is the Council

Recommendation to permit

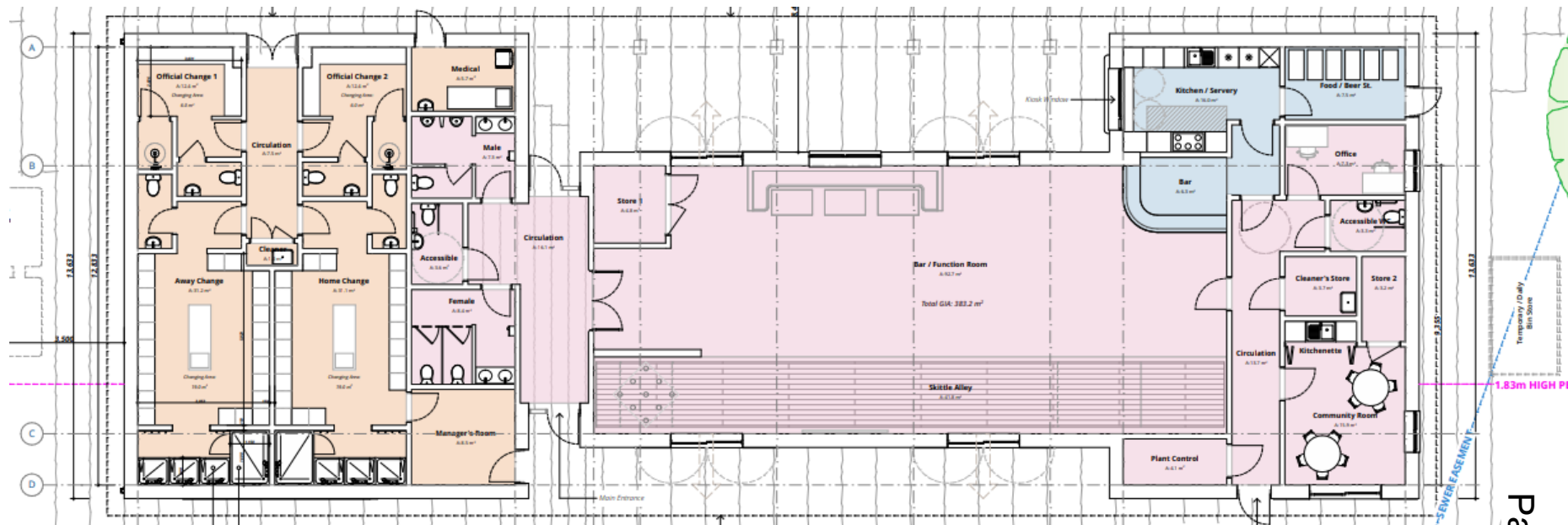
Site location



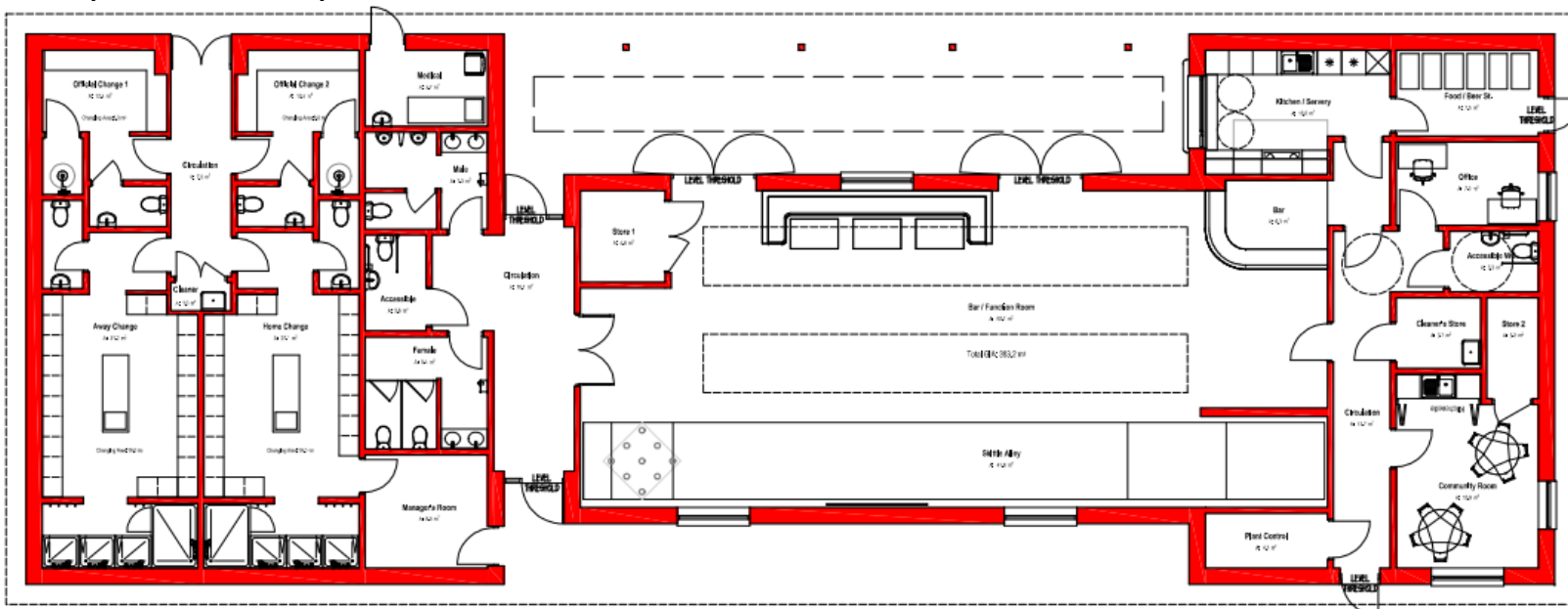
Existing and proposed site plan



Previously approved floor plan



Proposed floor plan



There is no change to internal layout of the building

24/00407/CONDIT



Previously approved elevations

E-01 - Pitch Side Elevation @ 1:100



E-02 - Park Side Elevation @ 1:100



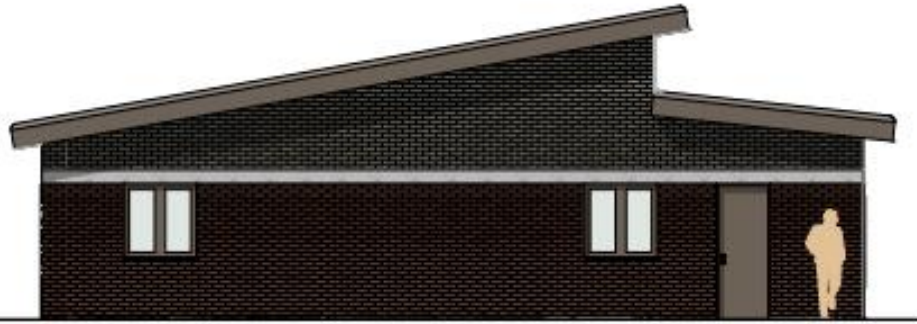
Proposed elevations

EAST ELEVATION

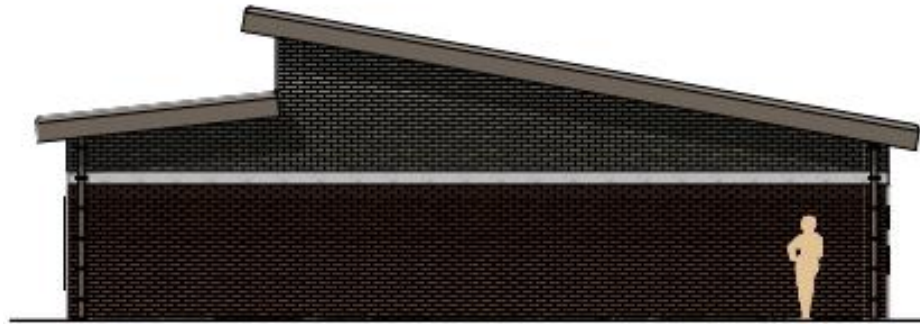


WEST ELEVATION

Previously approved elevations

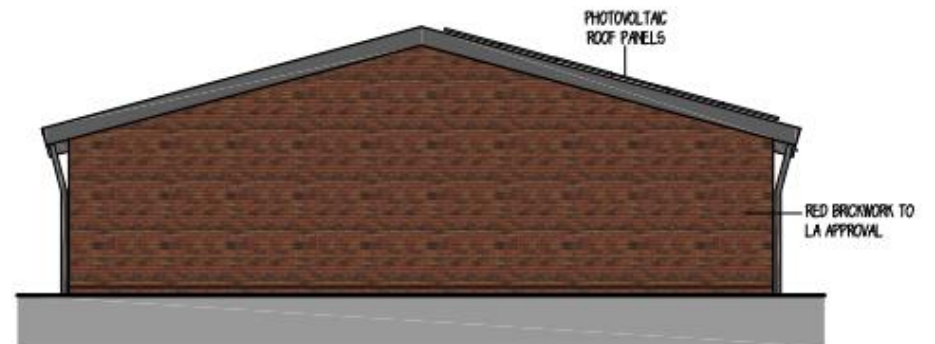


E-03 - South Elevation @ 1:100



E-04 - North Elevation @ 1:100

Proposed elevations

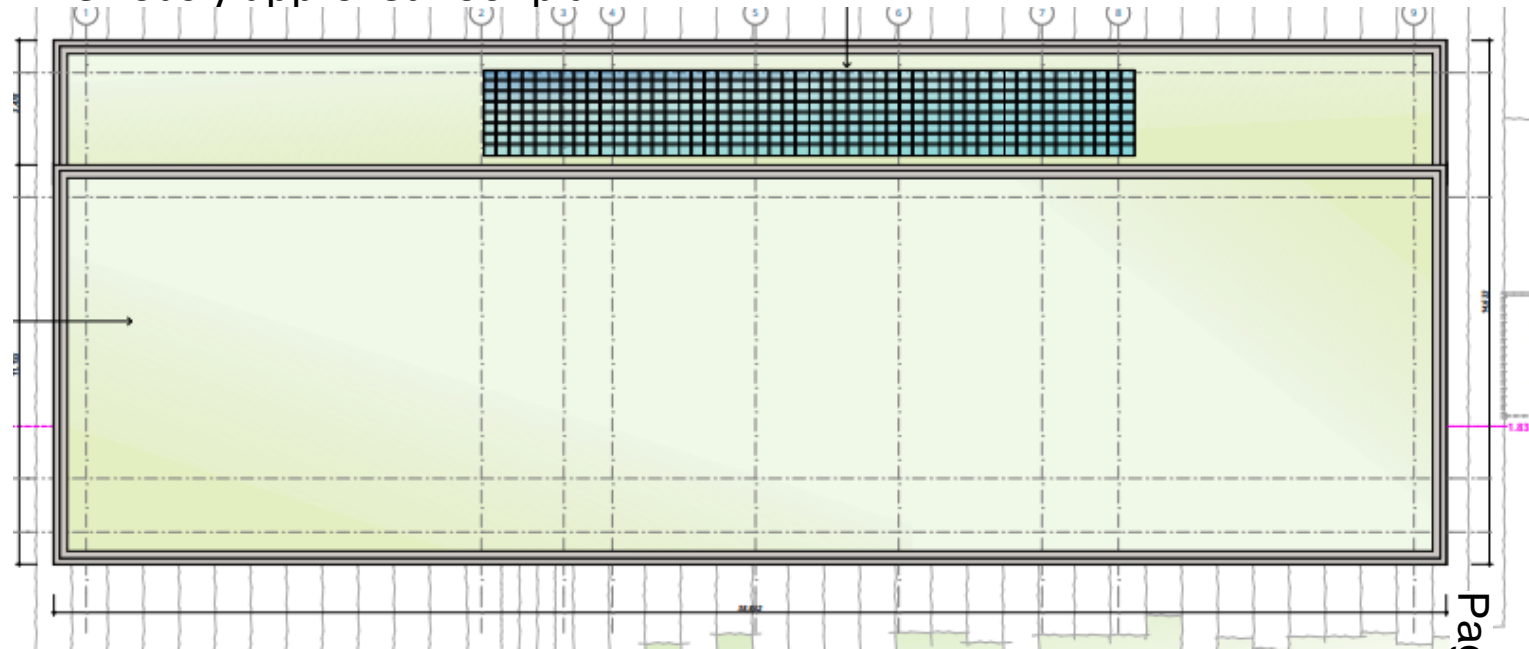


NORTH ELEVATION

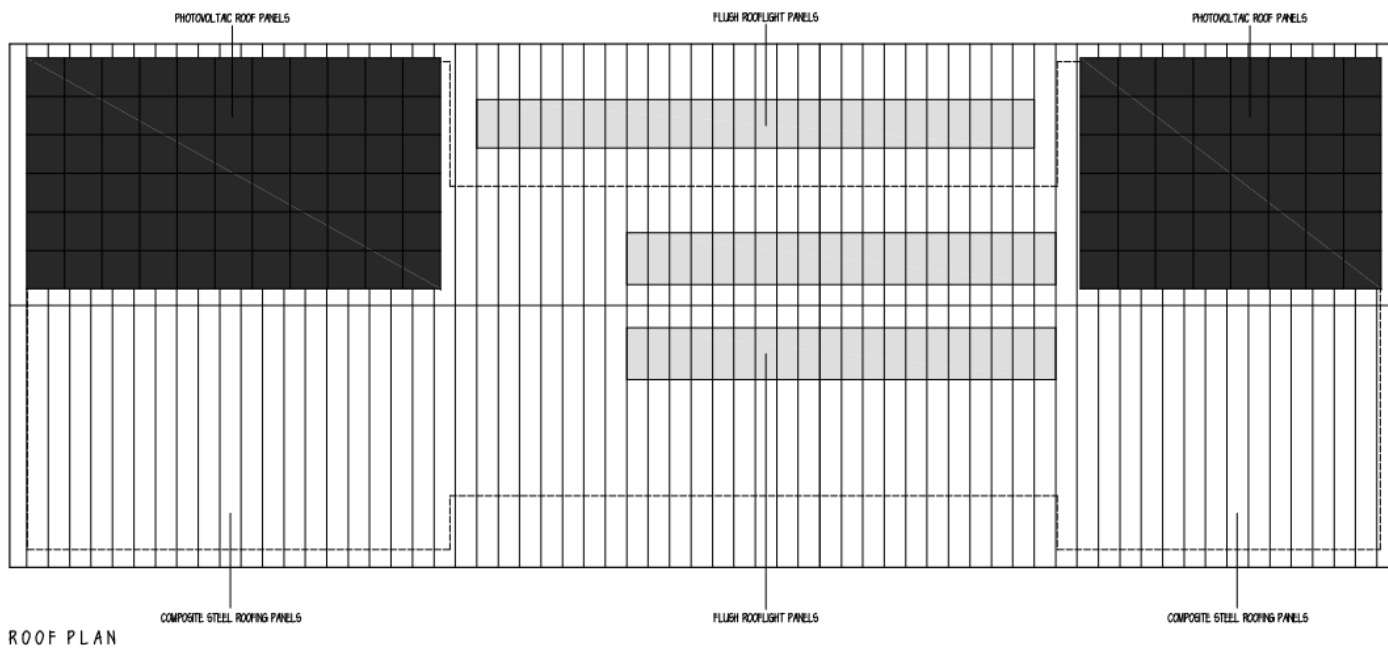
no change to footprint, reduction in height by 1.2 metres

24/00407/CONDIT

Previously approved roof plan



Proposed roof plan



Site photos



Page 32



Site photos



Summary of variations

- Variation of Condition 2 – approved drawings - change to the design of the Community Sports Hub building,
- Remove Condition 3 – Material details,
- Remove Condition 4 – Green roof details,
- Remove Condition 5 – Construction Management Plan,
- Remove Condition 6 – Sustainable Drainage, and
- Remove Condition 9 – Contaminated Land – site survey

Of approved planning permission ref. 22/01743/FUL

Considerations

- The acceptability of the proposed changes to the design of the community sports hub building, and
- The acceptability of the information and details submitted to address conditions 3 (materials), 5 (construction management plan) and 6 (sustainable drainage) of the previously approved application.

Recommendation to permit subject to conditions:

- Time
- Approved drawings
- Materials (in accordance with submitted details)
- Construction management plan (in accordance with submitted details)
- Sustainable drainage (in accordance with submitted details)
- Submission of landscaping scheme
- Replacement trees,
- Contaminated Land – site survey,
- Hours of activity,
- Lighting

24/00642/CONDIT – 320 Swindon Road

Proposed works:

Variation of condition 2 (approved plans), 6 (hard and/or soft landscaping) and 17 (Solar PV panels and air source heat pumps) of granted permission 21/02038/FUL. Amendments to the proposed plans and clarification regarding the energy strategy.

The application is at planning committee as Cheltenham Borough Homes is the applicant.

Site Location Plan





Approved site layout plan



Proposed site layout plan



Approved Street Scene Elevation



Proposed Street Scene Elevation

Proposed amendments to the approved scheme

- Change in material specifications
- Changes in elevation treatment for the apartment block
- Proposed use of grey uPVC windows instead of aluminium
- Changes in window design and sizes across all elevations
- Relocation of bin storage from front to rear of houses and inclusion of bin collection point
- Relocation of ASHP's from the front to the rear of the houses
- Omission of green roofs on bin and bike stores
- Omission of sheds, paths and planters from rear gardens of houses
- Reduction of insets for apartment building
- Amendment of balcony design to rear of apartment building
- Change in boundary treatment on Bridge Street from Brick wall to timber fence
- Omissions of vegetable planters to rear of apartment block
- Change in some surface materials from block paving to tarmac
- Clarification of energy strategy for apartment block

Key Planning Matters

- Design
- Landscaping
- Impact on neighbouring amenity
- Sustainability

Recommendation – Permit subject to conditions

Conditions:

- Approved plans
- Affordable Housing
- Materials
- Waste Minimisation
- Landscaping
- Tree Pit details
- Implementation of access
- Stopping up of existing access
- Resident welcome pack
- Construction method statement
- Cycle storage
- SuDs
- Contaminated land works
- Installation of Solar panels and air source heat pumps
- Landscape management plan
- Noise and vibration report
- Home Owner Information Packs
- Bat Survey
- Externals plant for GSHP's

23/01691/REM – OAKLEY FARM

Proposed Development

Application for approval of Reserved Matters (details of access, appearance, landscaping, layout and scale) following outline planning permission for residential development of up to 250 dwellings and associated infrastructure, open space and landscaping and creation of a new vehicular access from Harp Hill (in accordance with the terms of the outline planning permission 24/00251/CONDIT).

Details are also submitted in relation to conditions 6 (phasing), 9 (Energy and Sustainability Statement), 13 (Harp Hill access junction details) and 25 (hard and soft landscaping and boundary treatment) of 24/00251/CONDIT.

Outline Planning Permission – 20/01069/OUT & 24/00251/CONDIT

Applicant appealed against the Council's non-determination of the original outline planning application in April 2021. Putative reasons for refusal were presented to the May 2021 meeting of the Planning Committee and Members resolved to refuse outline planning permission.

Public Inquiry held between September 2021- March 2022

Appeal allowed in October 2022 and outline planning permission granted for up to 250 dwellings. Permission subject to 31 conditions and 5 no. s106 legal agreements to secure education and libraries provision, off-site highway works, management and maintenance of public open space, a financial contribution towards off-site recreation improvements and the repair of the historic east site boundary wall adjacent to Hewlett's Reservoir.

Outline Planning Permissions – 20/01069/OUT & 24/00251/CONDIT

A s73 application submitted in February 2024 to vary the terms of Condition 13 (access arrangements and road gradients) was approved on 20th May 2024.

Amended Condition 13 allows sections of the access roads where gradients fall between 1/20 and 1/12 to exceed 30 metres in length, but subject to the applicant providing sufficient evidence that steeper road gradients across the site are necessary due to site topography and the protection of the environment and amenities of neighbouring properties.

24/00251/CONDIT is now the operative outline planning permission in respect of the current reserved matters proposals.

Outline Planning Permission –24/00251/CONDIT (& 20/01069/OUT)

Key conditions of outline planning permission 24/00251/CONDIT.

Condition 5 requires that reserved matters details shall be in substantial accordance with 4 Parameter Plans:-

- Land Use (defines the areas for structural landscaping and public open space)
- Green Infrastructure
- Access and Movement (includes the Highway Corridor Flexibility Zone for the Harp Hill main vehicular access/junction)
- Building Heights (limits ridge heights to no more than 10.5 and 12 metres within specified areas of the site)

Outline Planning Permission – 24/00251/CONDIT (&20/01069/OUT)

Condition 5

Reserved matters details shall be in general accordance with the design and layout principles of the Alternative Illustrative Masterplan in respect of:-

- Structural landscaping and public open space shown on the Land Use Parameter plan
- Design and alignment of the main vehicular access and junction within Harp Hill within the Highway Corridor Flexibility Zone of the Access and Movement Parameter Plan

Outline Planning Permission – 24/00251/CONDIT (&20/01069/OUT)

Condition 13

The reserved matters submissions relating to access are required to be generally designed in accordance with the Manual for Gloucestershire Streets so that maximum and minimum gradients allowable will be between 1/20 and 1/100 respectively, save that gradients between 1/20 and 1/12 are permissible, provided that where there are proposed gradients of 1/12, these shall be limited to maximum lengths of 30 metres. Where gradients between 1/20 and 1/12 are proposed, and where their respective lengths exceed 30 metres, the reserved matters submissions relating to access shall include evidence, to the satisfaction of the local planning authority, that site topography, the need to retain important existing landscape features, and to protect both the environment and amenities of neighbouring land users, necessitate gradients of between 1/20 and 1/12.



Site Location Plan



Site Location/Arial View



View from Harp Hill looking north and east to Cheltenham, Hewlett's Reservoir and the AONB

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EXTRACT AT 1:2500 SHOWING WESTERN GATEWAY

-  **PLANNING APPLICATION BOUNDARY**
(15.29 HA)
-  **BUILT DEVELOPMENT**
(TO INCLUDE AMENITY GREEN SPACE, INCIDENTAL INFORMAL OPEN SPACE, PLAY AREAS, SUSTAINABLE URBAN DRAINAGE SYSTEMS, ROADS AND LANDSCAPING)
-  **GREEN INFRASTRUCTURE**
(TO INCLUDE SUSTAINABLE URBAN DRAINAGE, INFORMAL FOOTWAYS, FOOTWAYS, CYCLEWAYS AND POTENTIAL EMERGENCY ACCESS)
-  **HIGHWAY CORRIDOR FLEXIBILITY ZONE**
A MAXIMUM HIGHWAY CORRIDOR WIDTH OF 12M AND ACCESS POINT TO BE LOCATED WITHIN THIS ZONE
-  **TREE PRESERVATION ORDER TREES**
PRECISE CANOPY TO BE DETERMINED BY DETAILED SURVEY

Land Use Parameter Plan



- PLANNING APPLICATION BOUNDARY**
(15.29 HA)

- MAXIMUM BUILDING HEIGHT UP TO 10.5M**
ABOVE FUTURE GROUND LEVEL

- MAXIMUM BUILDING HEIGHT UP TO 12M**
ABOVE FUTURE GROUND LEVEL

- EXISTING CONTOURS AND SPOT HEIGHTS**
(CONTOURS AT 1M INTERVALS)

* FUTURE GROUND LEVEL ALLOWS FOR A MAXIMUM OF 1.5M ABOVE THE EXISTING GROUND LEVEL (THIS ESTABLISHES APPROPRIATE DRAINAGE, BALANCE CUT AND FILL AND ALIGN STREET AND BUILDINGS TO CONSISTENT LEVELS).

EXTRACT AT 1:2500 SHOWING WESTERN GATEWAY

Building Heights Parameter Plan

Oakley Farm, Cheltenham
 Alternative Illustrative Masterplan
 conforming to G.C.C. Design guide for
 gradients



Key

- Site boundary
- Existing trees
- Existing green infrastructure
- Native tree and shrub planting
- Tree planting
- Grass meadow with wildflowers
- Herb margin
- Amenity grass
- Pasture retained / reinstated areas seeded with flowering leam mixture
- Wetland meadow and planting to SuDS basin
- Mown grass path through pasture
- Area for natural play to meet EN1175 and EN1177
- Nature trail/country park sign
- Timber trim trail equipment and sign
- Bench
- Dog waste bin
- Bound gravel footpath
- Slope
- Existing ground level
- Proposed level
- Proposed cutting, maximum gradient of 1:3
- Main belt of screen planting - native tree/shrub mix

Scale

Notes

- 1) Do not scale directly from this drawing.
- 2) This drawing is to be read in conjunction with all other relevant MHP drawings and information supplied by other consultants.
- 3) Hatch patterns displayed on this drawing are indicative only and do not represent actual paving units or material sizes.
- 4) All tree planting in proximity to buildings to be checked by engineers to ensure foundation detailing is appropriate.

Project Name		Oakley Farm, Cheltenham	
Client		Robert Michine	
Drawing Title		Alternative Illustrative Masterplan	
Reference	18017_202	Sheet	B
FOR INFORMATION			
Drawn by	Checked by	Date	Scale
DB	PH	05/10/21	1:1000



Alternative Illustrative Masterplan of Outline Planning Application



Reserved Matters Proposed Site Layout



Landscape Master Plan



Landscape Framework Plan



Street Scene Elevations – Upper Central/Oak Tree



This drawing should be read in conjunction with reports by Nexus Planning and the following drawings: Landscaping strategy and details by JDP Group; Ecology by Ecology Solutions; Arboriculture by Savel Arboriculture Ltd; and engineering drawings by JUS Engineering for completeness. Indicative PV panels to respond to plot orientation and subject to sustainability requirements.

Street Scene Elevations – Central



This drawing should be read in conjunction with reports by Hensel Planning and the following drawings: Landscape strategy and detail by IDP Group; Ecology by Ecology Solutions; Arboriculture by Seed Arboriculture Ltd; and engineering drawings by PJS Engineering for completeness. Indicative PV panels to respond to plot orientation and subject to sustainability requirements.

Street Scene Elevations – Lower/SUDS Pond



R R
1:200



AE AE
1:200

S S
1:200



T T
1:200



U U
1:200

This drawing should be read, by Nexus Planning and the its strategy and detail by IDP. Gs Siskione; Architectural by S engineering drawings by PLUS completeness. Indicative PV, orientation and subject to aus

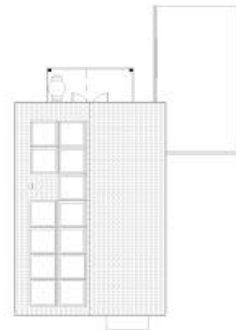
Street Scene Elevations – Central East



Street Scene Elevations – Lower North East



1141 FF
1 : 100



1141 Roof
1 : 100



1141 Front Elevation A
1 : 100



1141 Rear Elevation A
1 : 100



1141 GF
1 : 100



1141 Side Elevation A
1 : 100



1141 Side Elevation 2 A
1 : 100



1141 LGF
1 : 100

The annotations to plot(s) below, include reference to the material/finish. Elevations apply to the following plot(s):
Type A - 76, 78, 80, 81, 82, 83
Grass Internal Area for this House Type: 120sqm
Beds: 3 Bed 5 Person
Standards: NDSG and MGS

This drawing should be read in conjunction with the proposed site plan and elevations for completeness.

Materials

Roof Finishes

Tiled Roof: Man Made Tile Smooth, Colour Grey.
Minerard Roof: Standing Seam Cladding, Colour Grey.
Fascia: Cedar Sawn Colour Dark Grey.
Rainwater Goods: uPVC Gutters, Downpipes and Fascia Soffit with matching finish, Colour Dark Grey.
PV: Roof mounted solar photovoltaics. Illustrative PV panel positioned to respond to plot orientation.

Walls

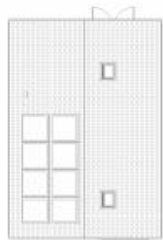
External Brick Walls: Brick with projecting and/or solid course detailing to eaving band and minimal. Colour Buff Brick with Dark Buff Mortar or similar.
External Render Walls: Soft render palette or render colour to facade to wall depth and variety. Colour to complement Brick and Stone be agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string band. Cotswold coloured reconstituted stone masonry with Dark Buff Mortar or similar.
External Chalk Walls: Dark Grey Vertical Cladding Board
ASBP: ASBP to be installed outside the rear of the house, the unit will be fitted to a wall or placed on the ground to respond to plot. All parts of the air source heat pump must be at least one metre from the property boundary.

Windows and Screens

Windows: uPVC Double Glazed Window Units, Colour Grey. Obscure Glazing to Bathrooms, Ensuites and WCs.
Front Entrance Door: Composite door with glazed panel, Colour Grey.
Garage Door: Composite door with glazed panel, Colour to match External Chalk Wall.
Door Canopy: Grey GRP Canopy.
Glazed Patio or Fold Doors: Double Glazed, Colour Grey.



1146 FF
1 : 100



1146 Roof
1 : 100



1146 Front Elevation A
1 : 100



1146 Front Elevation B
1 : 100



1146 Rear Elevation A
1 : 100



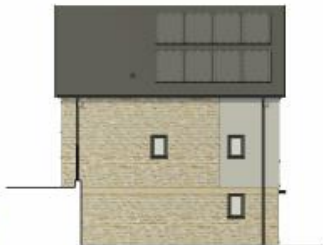
1146 Rear Elevation B
1 : 100



1146 GF
1 : 100



1146 Side Elevation A
1 : 100
To plot 116



1146 Side Elevation B
1 : 100



1146 Side Elevation 2 A
1 : 100
To plot 113



1146 Side Elevation 2 B
1 : 100



1146 LGF
1 : 100

The annotations to plot(s) below, including reference to the material finish elevations applies to the following plot(s)
Type A - 106, 112
Type B - 114, 115
Gross Internal Area for this House Type: 111sqm
Bed: 3 Bed 6 Persons
NDGS
MAG2

This drawing should be read in conjunction with the proposed site plan and street sections for completion.

Materials

Roof Finishes

Tile: Roof: Ash-Made Tile Smooth. Colour Grey.
Mansard Roof: Standing Seam Cladding. Colour Grey
Fascia: Gable barge colour Dark Grey
Battens/Gables: uPVC Gutters, Downpipes and Fascia Gable with matching finish. Colour Dark Grey
PV: Roof mounted solar photovoltaics, illustrative PV panel positioned to respond to plot orientation

Walls

External Brick Walls: Brick with projecting and/or soldier course detailing to string band and material. Colour Buff Brick with Dark Buff Mortar or similar.
External Render Walls: Soft render palette of render colours to facilitate to add depth and variety. Colour to complement Brick and Stone as agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string band. Coursed coloured reconstructed stone masonry with Dark Buff Mortar or similar.
External Clad Walls: Dark Grey Vertical Cladding Board.
AIRSP: AIRSP to be installed outside the rear of the house, the unit will be fitted to a wall or placed on the ground to respond to plot. All parts of the air source heat pump must be at least one metre from the property boundary.

Windows and Screens

Windows: uPVC Double Glazed Window Units. Colour Grey. Obscure Glazing in Bathrooms, Shower and WC.
Front Entrance Door: Composite door with glazed panel. Colour Grey
Garage Door: Composite door with glazed panel. Colour to match External Clad Wall
Door Canopy: Gray GFR Canopy
Glazed Patio or Fold Doors: Double Glazed. Colour Grey

Hazel - split level house type

1165 Roof
1: 100

1165 Front Elevation A
1: 100

1165 Front Elevations B
1: 100

1165 Side Elevation 2 A
1: 100

1165 Side Elevation 2 B
1: 100

1165 FF
1: 100

1165 Side Elevation A
1: 100

1165 Side Elevation B
1: 100

1165 Rear Elevation A
1: 100

1165 Rear Elevations B
1: 100

1165 GF
1: 100

1165 Side Elevation Blank to Block 89
1: 100

The annotations to plans below, include reference to the material finish. Elevations apply to the following analysis:
Type A - 26, 28, 88, 80
Type B - 87
Gross Internal Area for this House Type: 100sqm
Bed: 3 Bed 5 Persons
Standard: NDSG, M(2)

This drawing should be used in conjunction with the proposed site plan and street sections for completion.

Materials

Roof Finishes

Roof Deck: Mem-Mast Tile Smooth, Colour Grey
Roofing: Standing Seam Cladding, Colour Grey
Fascia: Gable barge colour Dark Grey
Roofwater Gutter: uPVC Gutter, Downpipes and Fascia Soffit with matching finish, Colour Dark Grey
Roof: Roof mounted solar photovoltaics. Illustrative PV panel positioned to respond to gable orientation.

Walls

External Brick Walls: Brick with projecting and/or corbel course detailing to eave band and internal, Colour Buff Brick with Dark Buff Mortar or render.
External Render Walls: Soft render palette of render colours to facades to add depth and variety, Colour to complement Brick and Stone be agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string band, Coloured coloured interlocking stone masonry with Dark Buff Mortar or similar.
External Clad Walls: Dark Grey Vertical Cladding Board.
ADAP: ADAP to be installed outside the rear of the house, the unit will be fitted to a wall or placed on the ground to respond to plot. All parts of the air source heat pump must be at least one metre from the property boundary.

Windows and Glazing

Windows: uPVC Double Glazed Window Units, Colour Grey, Obscure Glazing to Bathrooms, Shower and WCs.
Front Entrance Door: Composite door with glazed panel, Colour Grey
Garage Door: Composite door with glazed panel, Colour to match External Clad Wall
Door Canopy: Grey GMP Canopy
Glazed Patio & Field Doors: Double Glazed, Colour Grey

Spruce - split level house type



1166 FF
1 : 100



1166 Front Elevation
1 : 100



1166 Side Elevation
1 : 100



1166 GF
1 : 100



1166 Rear Elevation
1 : 100



1166 Side Elevation1
1 : 100



The annotations to plot(s) below, includes reference to the material/finish. Elevations apply to the following plot(s):
30, 31, 32, 33

Gross Internal Area for the House Type: 110sqm

Beds: 2 Bed 5 Persons

NDSS

MA01

This drawing should be read in conjunction the proposed site plan and street sections for completeness.

Materials

Roof Finishes

Tiled Roof: Man Made Tile Smooth Colour Grey

Aluminum Roof: Standing Seam Cladding Colour Grey

Fascia: Gable design colour Dark Grey

Gutter: Gable: uPVC Gutter, Downpipes and Fascia Soffit with matching finish. Colour Dark Grey

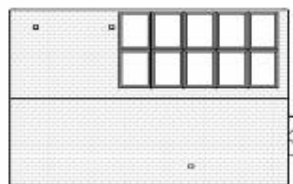
PV: Roof mounted solar photovoltaic. Illustrative PV panel positioned to respond to plot orientation

Walls

External Brick Walls: Brick with projecting and/or soldier course detailing to eaving band and material. Colour Buff Brick with Dark Buff Mortar or similar.

External Boundary Walls: Brick masonry masonry or concrete masonry in finished or self finish wall finish.

Spruce - split level house type



1170 Roof
1:100



1170 FF
1:100



1170 GF
1:100



1170 Front Elevation - A
1:100



1170 Front Elevation - Stone B
1:100



1170 Side Elevation
1:100



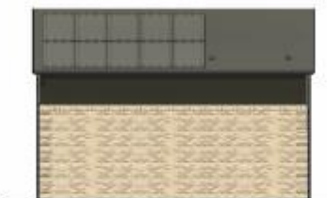
1170 Side Elevation 1 - Stone
1:100



1170 Side Elevation 2
1:100



1170 Side Elevation 2 - Stone
1:100



1170 Rear Elevation
1:100



1170 Rear Elevation - Stone
1:100

The annotations to plot(s) below, include reference to the material finish. Elevations apply to the following plots:
 Type A - 188, 203
 Type B - 235
 Gross Internal Area for this House Type: 100 sqm
 Beds: 3 Bed 5 Persons
 Standards: NDSS, M4(2)

This drawing should be read in conjunction the proposed site plan and street sections for completeness.

Materials

Roof Finishes

Tiled Roof: Man-Made Tile Smooth, Colour Grey
Membrane Roof: Standing Seam Cladding, Colour Grey
Fascia: Gutter barge colour Dark Grey
Rainwater Goods: uPVC Gutters, Downpipes and Fascia Soffit with matching finish, Colour Dark Grey
PV: Roof mounted solar photovoltaics. Illustrative PV panel positioned to respond to plot orientation.

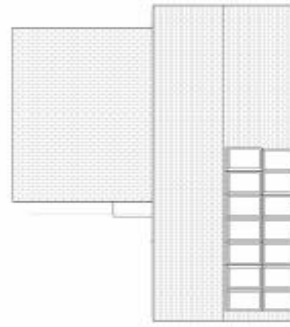
Walls

External Brick Walls: Brick with projecting and/or soldier course detailing to eave band and material. Colour Buff Brick with Dark Buff Mortar or similar.
External Render Walls: Soft render palette of render colours to provide to add depth and variety. Colour to compliment Brick and Stone be agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string band. Cotswold coloured.

Spruce - side garden house type



1241 SF
1 : 100



1241 Roof
1 : 100



1241 - Front Elevation
1 : 100



1241 - Side Elevation 1
1 : 100



1241 FF
1 : 100



1241 - Side Elevation 2
1 : 100



1241 - Rear Elevation
1 : 100



1241 GF

The annotations to plot(s) below, includes reference to the material finish. Elevations applies to the following plot(s):
 House: 11, 14, 231, 246, 250
 No side windows to Side Elevation 2 for houses 12, 13, 226, 228, 235, 247, 248, 249
 Gross Internal Area for this House Type: 100 sqm
 Beds: 4 Bed (if Feasible)
 Standards: NDS5 & 8M(2)

This drawing should be read in conjunction with the proposed site plan and street sections for completeness.

Materials
Roof Finishes
 Tiled Roof: Man-Made Tile Smooth, Colour Grey
 Mansard Roof: Standing Seam Cladding, Colour Grey
Fencing: Galvanneal colour Dark Grey
Rainwater Goods: uPVC Gutters, Downpipes and Fascia Soffit with matching finish. Colour Dark Grey
PV: Roof mounted solar photovoltaic. Illustrative PV panel positioned to respond to plot orientation.

Walls
External Brick Walls: Brick with projecting and/or visible course detailing to string bond and material. Colour Buff Brick with Dark Buff Mortar or similar
External Render Walls: Soft render palette of render colours to facades to add depth and variety. Colour to complement Brick and Stone be agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string bond. Cotswold coloured reconstructed stone masonry with Dark Buff Mortar or similar.
External Clad Walls: Dark Grey Vertical Cladding Board
ASHP: ASHP to be installed outside the rear of the house, the unit will be fixed to a wall or placed on the ground to respond to plot. All parts of the air source heat pump must be at least one metre from the property boundary.

Chimneys and Groundwork
Windows: uPVC Double Glazed Window Units, Colour Grey. Obscure Glazing to Bathrooms, Ensuites and WCs.
Front Entrance Door: Composite door with glazed panel. Colour Grey

4 bed - step up slope with timber



1621 Front Elevation A
1 : 100

1621 Front Elevation - B Stone
1 : 100

1621 Side Elevation A
1 : 100

1621 Side Elevation B - Stone
1 : 100



1621 Rear Elevation
1 : 100

1621 Rear Elevation - Stone
1 : 100

1621 Side Elevation C
1 : 100

1621 Side Elevation D - Stone
1 : 100

Beech – gable fronted house type



1260 SF
1:100



1260 Roof
1:100



1260 Front Elevation
1:100



1260 Rear Elevation
1:100



1260 FF
1:100



1260 Side Elevation 1
1:100



1260 Side Elevation 2
1:100



The annotations to plot(s) below, includes reference to the material finish. Elevations applies to the following plot(s):
 Houses 15, 22, 23
 No Side Elevation 2 windows to house 16
 Gross Internal Area for this House Type: 177 sqm
 Beds: 5 Bed 8 Persons

This drawing should be read in conjunction the proposed site plan and street sections for completeness.

Materials

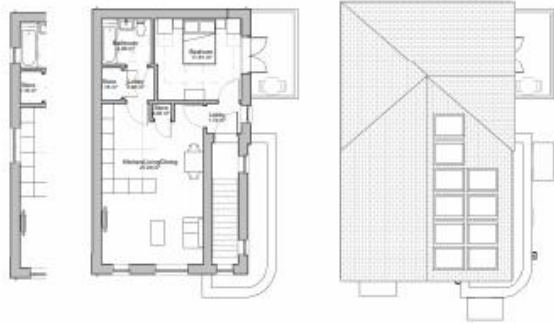
Roof Finishes

Filed Roof: Man-Made Tile Smooth, Colour Grey
 Mansard Roof: Standing Seam Cladding, Colour Grey
 Fascia: Gutter design colour Dark Grey
 Rainwater Goods: uPVC Gutters, Downpipes and Fascia Soffit with matching finish, Colour Dark Grey
 PV: Roof mounted solar photovoltaics. Illustrative PV panel positioned to respond to plot orientation

Walls

External Brick Walls: Brick with projecting and/or solid course detailing to eaving band and material, Colour Buff Brick with Dark Buff Mortar or similar.
 External Render Walls: Soft render palette of render colours to eaves to add depth and variety.

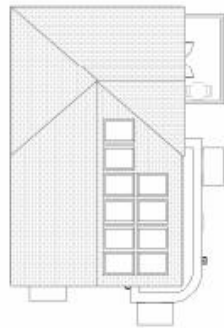
5 bed - step down slope with render



1324 SF B
1:100



1324 SF
1:100



1324 Roof
1:100



1324 Front Elevation
1:100



1324 Rear Elevation
1:100



1324 FF B
1:100



1324 FF
1:100



1324 Side Elevation A
1:100



1324 Side Elevation B
1:100



1324 GF B
1:100



1324 GF
1:100



1324 Side Elevation 2
1:100

The annotations to plot(s) below, include reference to the material finish. Elevations applies to the following plot(s):
 Side Elevation A: 91, 90, 83
 Side Elevation B: 152, 151, 152
 Side Elevation A: 152, 156, 157
 Gross Internal Area for this House Type: 60 sqm
 Bats: 1 Bat/2 Persons

This drawing should be used in conjunction with the proposed site plan and street sections for completeness.

Materials

Roof Finishes

Tiled Roof: Man Made Tile Smooth, Colour Grey
Manured Roof: Standing Seam Cladding, Colour Grey
Fascia: Galvalume colour Dark Grey
Rainwater Gutter: uPVC Gutters, Downpipes and Fascia Soffit with matching finish. Colour Dark Grey.
PPV: Roof mounted solar photovoltaic. Alternative PV panel positioned to respond to plot orientation.

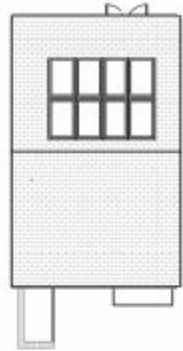
Walls

External Brick Walls: Brick with projecting and/or soldier course detailing to string bond and material. Colour Buff Brick with Dark Buff Mortar or similar.
External Render Walls: Soft render palette of render colours to facades to add depth and variety. Colour to complement Brick and Stone be agreed with samples on site.
External Stone Walls: Coursed rubble stone with ashlar string bond. Cotswold coloured reconstructed stone masonry with Dark Buff Mortar or similar.
External Clad Walls: Dark Grey Vertical Cladding Board.
ASHP: ASHP to be installed outside the rear of the house, the unit will be fixed to a wall or placed on the ground to respond to plot. All parts of the air source heat pump must be at least one metre from the property boundary.

Windows and Glazing

Windows: uPVC Double Glazed Window Units. Colour Grey. Obscure Glazing to Bathrooms, Ensuites and WCs.
Front Entrance Door: Composite door with glazed panel. Colour Grey
Garage Door: Composite door with glazed panel. Colour to match External Clad Wall.
Door Canopy: Grey GFR Canopy

Affordable Housing - Maisonettes



1420 SF
1 : 100



1420 Front Elevation A
1 : 100



1420 Front Elevation B
1 : 100



1420 Front Elevation C
1 : 100



1420 Side Elevation 1 A + C
1 : 100



1420 Side Elevation B
1 : 100



1420 FF
1 : 100



1420 Side Elevation 2 A + C
1 : 100



1420 Side Elevation 2 B
1 : 100



1420 Rear Elevation A + C
1 : 100



1420 Rear Elevation B
1 : 100

Affordable – 2 bed Cherry House Type



1 Front Elevation
0



1481 Rear Elevation
1 : 100



1600 Front Elevation (from parking)
1 : 100



1 Side Elevation
0



1481 Side Elevation 2
1 : 100



1600 Side Elevation (street)
1 : 100



1600 Side Elevation (garden)
1 : 100



40 Front Elevation
1:100



1540 Rear Elevation
1:100



1840 Front Elevation
1:100



1840 Rear Elevation
1:100



20 Side Elevation1
1:100



1520 Side Elevation 1
1:100



1840 Side Elevation
1:100



1840 Side Elevation 2
1:100

Affordable 1 bed bungalow/Open Market 3 bed bungalow



1820 Front Elevation
1 : 100



1820 Rear Elevation
1 : 100



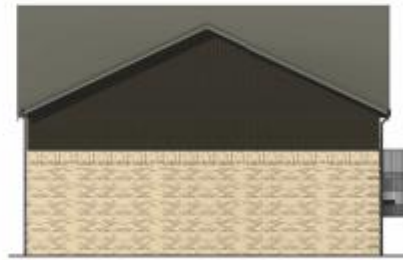
1821 Front Elevation
1 : 100



1821 Rear Elevation
1 : 100



1820 Side Elevation
1 : 100



1820 Side Elevation 2
1 : 100





1800 Elevation 1
1 : 100



1800 - Elevation 2
1 : 100



1800 Elevation 3
1 : 100



1800 Elevation 4
1 : 100

Glade LEAP – open market apartments



1380 Front Elevation
1 : 100



1380 Courtyard Side Elevation
1 : 100



1380 Rear Elevation
1 : 100



1380 POS Side Elevation
1 : 100

Oak Tree apartments



SUDS Pond area



Central Glade area



Oak Tree flats



Oak Tree flats/neighbourhood



Oak Tree dwellings



Approaching Hewlett's Reservoir



Approaching Hewlett's Reservoir



PRECEDENTS - OAK GREEN
I-P



PRECEDENTS - LEAP PLAY
I-P

Precedent Images of Proposed Play Areas/Equipment



Arial Perspective from Harp Hill



Arial Perspective – from Oakley Grange



Arial Perspective – Wessex Drive/Sainsbury's



Arial Perspective – from Hewlett's Reservoir









Key Planning Matters

- **Layout**
 - Conformity with Parameter Plans of outline planning permission
 - Principles of good urban design
- **Design and Scale – house/apartment types**
 - Impact on environment - landscape and visual qualities and scenic beauty of the AONB/locality in general
 - Impact on amenities of neighbouring land users
- **Affordable Housing**
 - Category type/size, tenure mix, distribution and architectural design
- **Traffic/Highway safety**
 - Design detail of proposed access arrangements, road alignment and road gradients and conformity with Condition 13
- **Landscaping – hard and soft**
 - Retained landscape features, boundary treatment, planting schedule, street tree planting, POS and tree management and maintenance
- **Conservation and Heritage**
 - Impact on grade II listed structures at Hewlett's Reservoir and non-designated ridge and furrow landform
- **Ecology**
 - Ecological survey considerations - loss of habitat, fauna, flora and biodiversity net gain
- **Drainage and Flood risk**

Recommendation – Permit subject to Conditions

1. Facing and roofing materials – including large sample panels constructed on site
2. Hard surfacing materials, boundary treatment and retaining wall details
3. Landscape and Tree Management and Maintenance scheme (short to 30 year long term)
4. Play area scheme details
5. Landscaping and boundary treatments for Oak tree curtilage – Oak Tree Garden neighbourhood
6. Street tree planting and management details
7. Design details including window details and an EV charging point scheme
8. Solar PV panels and Air Source Heat Pump installation – no gas served development
9. Obscure glazing and permitted development rights removed for additional windows – selected plots
10. Existing and proposed site levels details – including cross section drawings indicating extent of ground works to achieve finished site levels

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